



PROMINENCE
ESTATES



RESIDENTIAL
PROPERTY EXPERTS

COVENTRY, WARWICKSHIRE
& LEAMINGTON SPA

WOODSTOCK ROAD,
CHEYLESMORE, COVENTRY, CV3 5HP

BY AUCTION
£195,000

WOODSTOCK ROAD



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This property is for sale by the Modern Method of Auction, meaning the buyer and seller are to Complete within 56 days (the "Reservation Period"). Interested parties personal data will be shared with the Auctioneer (iamsold). If considering buying with a mortgage, inspect and consider the property carefully with your lender before bidding.

A Buyer Information Pack is provided. The winning bidder will pay £349.00 including VAT for this pack which you must view before bidding.

The buyer signs a Reservation Agreement and makes payment of a non-refundable Reservation Fee of 4.5% of the purchase price including VAT, subject to a minimum of £6,600.00 including VAT. This is paid to reserve the property to the buyer during the Reservation Period and is paid in addition to the purchase price. This is considered within calculations for Stamp Duty Land Tax.

Services may be recommended by the Agent or Auctioneer in which they will receive payment from the service provider if the service is taken. Payment varies but will be no more than £450.00. These services are optional.

Located in the popular residential area of Cheylesmore, this three-bedroom semi-detached home presents a fantastic opportunity for buyers looking to modernise and add their own personal touch. The property benefits from spacious accommodation, a rear garden, and a detached garage situated at the rear, offering secure parking or additional storage. With great potential throughout, this home is ideal for families, investors or those looking for a project in a well-established neighbourhood.

Cheylesmore is a highly regarded area in Coventry, offering a range of local amenities including supermarkets, convenience stores, cafés and takeaways.

The nearby Daventry Road shopping parade provides easy access to everyday essentials, while Coventry city centre is just a short distance away and offers a wide selection of shops, restaurants and leisure facilities.

Transport links in the area are excellent. The property is well positioned for access to the A45, A46 and the M6 motorway network, making it ideal for commuters. Coventry Railway Station is only a short drive away, providing direct rail services to Birmingham, London and other major cities. Regular bus routes also operate through the area, offering reliable links across the city.

Families will appreciate the choice of well-regarded schools nearby, including Manor Park Primary School, St Thomas More Catholic Primary School and Blue Coat School, all offering quality education within easy reach.

This three-bedroom home in Cheylesmore offers great potential in a convenient and well-connected location, making it a fantastic opportunity for those looking to create their ideal property.

[Living Room](#)

[Kitchen/Diner](#)

[W/C](#)

[Bedroom One](#)

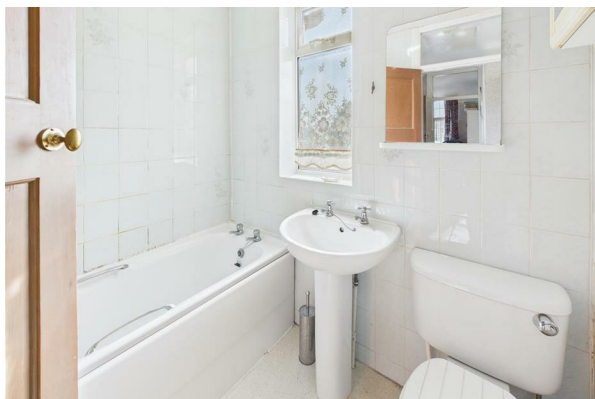
[Bedroom Two](#)

[Bedroom Three](#)

[Bathroom](#)

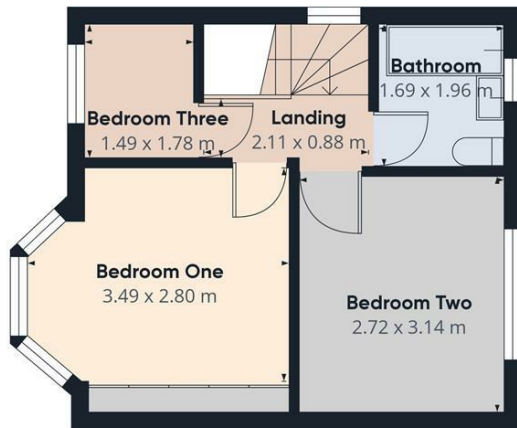
[Garage](#)








Ground Floor



Floor 1



Energy Efficiency Rating

	Current	Potential
Very energy efficient - lower running costs		
(92 plus) A		
(81-91) B		84
(69-80) C		
(55-68) D	63	
(39-54) E		
(21-38) F		
(1-20) G		
Not energy efficient - higher running costs		
England & Wales	EU Directive 2002/91/EC 	

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